



COUNCIL MEETING

Wednesday, March 25, 2026
10:00 AM

Join Us

In Person	County of Stettler No. 6 Administration Building
On YouTube	www.YouTube.com/StettlerCounty
By Zoom	www.StettlerCounty.ca/Zoom
By Phone	578-328-1099 Meeting ID: 237 185 7702 Passcode: 660244

In the spirit of Truth and Reconciliation, the County of Stettler No. 6 acknowledges that we gather, live, and work on Treaty 6 and 7 lands, the customary and traditional lands of the Indigenous Peoples of this territory.

Thank you for respecting our commitment to Scent Reduction in the workplace.

-
- 1. Call to Order**
 - 2. Agenda Additions and Approval**
 - 3. Delegation**
 - 4. Public Hearing**
 - 5. Council's Request for Information**
 - 5.1 RMA Round Table (All Councillors)
 - 6. Business Arising from the Minutes**
 - 7. New Business**

7.1	Development Permit Application: Direct Control - DP 25019	Page 4
7.2	Request for Decision: Proclamation Request from Alberta Disability Workers Association	Page 21
7.3	Request for Decision: Setting Dates for Upcoming Committee of the Whole Meetings	Page 26
7.4	Request for Decision: MC-250	Page 29
7.5	Request for Decision: DL-10	Page 31
7.6	Request for Decision: MG-30 Dust Suppression	Page 33
7.7	Request for Decision: Brush Truck Outfitting	Page 35
*7.8	Request for Decision: Lacombe County Referral	Page 37

8. Agenda Items

9. Correspondence

10. Consent Agenda Items

10.1	Office of the Leader of the Official Opposition: Response to Correspondence on Lacombe Research and Development Centre	Page 42
10.2	Alberta News: Building Homes for Alberta Seniors	Page 44
10.3	Heartland Youth Centre: Annual General Meeting & Volunteer Appreciation Event	Page 47

11. In-Camera Session

11.1	Reservoir Update ATIA Section 26: Disclosure harmful to intergovernmental relations	
11.2	Follow-Up to Railway Meetings ATIA Section 19: Disclosure harmful to business interests of a third party	
11.3	Request for Decision: Additional Named Insured ATIA Section 30: Disclosure harmful to economic and other interests of a public body	
11.4	SDAA Agreement ATIA Section 30: Disclosure harmful to economic and other interests of a public body	

12. Next Meeting

Next Regular Council meeting is scheduled for April 8, 2026

13. Adjournment



Request for Decision

Agenda Item: Development Permit Application - Sand, Gravel and Surface Mineral Extraction and Sand, Gravel and Surface Mineral Processing in the NW-3-35-20-W4M (Buffalo Jump Contracting Inc.)

Issue

To consider a development permit application for a Council approved use under the Direct Control – Sand, Gravel and Surface Mineral District.

Options for Consideration (Recommendations)

1. That Council approves the development permit application as presented in the attached draft Development Permit DP 25019 (*recommended option*).

OR

2. That Council approves the development permit application subject to amendments to the attached draft Development Permit.

OR

3. That Council refuses the development permit application.

General

SUMMARY INFORMATION			
FROM:	Planning & Development Services	WARD:	Big Valley
LANDOWNER:	Louis & Janice Hermus	APPLICANT:	Buffalo Jump Contracting Inc.
SUBJECT PROPERTY:	NW-3-35-20-W4M	ZONING:	Direct Control – Sand, Gravel and Surface Mineral
TOTAL ACRES IN PARCEL:	160 acres	PROPOSED DEVELOPMENT:	Sand, Gravel and Surface Mineral Extraction and Sand, Gravel and Surface Mineral Processing
FILE NO:	DP 25019	ROLL NO.	494600

Background and Context

The subject property is located approximately 6 km southwest of the Village of Big Valley, and 1 km east of Scollard Road. The property has been used as a gravel pit for many years. The property is currently a mix of reclaimed areas, open pit and operation area, stockpiles of recycled asphalt, rip rap, screenings, aggregate, topsoil and subsoil, and oil and gas facilities. The east part of the property is separated from the gravel pit operations by pipelines and is mostly flat with areas fenced off for grazing purposes.

Surrounding properties are comprised of pastureland, oil and gas operations, and other gravel pits. The closest residence is approximately 850m to the south away from the proposed disturbance area.

The drawing below shows the subject property outlined in yellow.



Nature of Application

The proposed development consists of a 16.8 ha open pit and operating area, and 9.5 ha that has already been reclaimed. The areas to be mined are shown as separate areas on the Site Plan as the excavation is working around existing pipelines and well sites. Most of these areas are considered part of Phase 1 and have some degree of excavation in progress. The area identified as Phase 2 has had topsoil and subsurface materials removed.

The primary site activities will include dry excavation, material crushing and screening, stockpiling, material hauling, and a possible asphalt plant. The aggregate is proposed to be stockpiled on site to be hauled off when sold. Equipment that will be required throughout the site will include loaders, skid steers, dozers, rock trucks, and crushing and screening equipment. Truck box spraying may take place, and if it does, it will be undertaken in designated areas.

Aggregate Volume and Phasing

The total proposed footprint of this proposed pit is 26.3 ha with 16.8 ha of open pit or areas to be mined and 9.5 ha of reclaimed area. The operator currently holds a permit under AEPA for the pit operation, and it was last updated on September 18, 2025.

The sand and gravel layers that are being mined are approximately 2.5m thick on average. Some areas may extend 5-6 m below original surface grade. There is no exploitable resource in the water table. The estimated amount of aggregate remaining in the proposed pit areas is between 20,000 m³ and 25,000 m³. A 15,000 m³ stockpile of screenings, 1,200 m³ of rip rap, and 7,500 m³ of recycled asphalt (millings) are present on site. It is estimated that the pit will be depleted within 10 years subject to local demands for the available products.

Oil and Gas Wells and Pipelines

There are several pipeline rights of way located within the subject property and all operations will be outside of those areas as shown in the Site Plan.

Site Photos

A site visit was undertaken on March 11, 2026.

Photo 1: View from middle of site looking northeast.



Photo 2: View from middle of site looking east.



Photo 3: View from middle of site looking east.



Photo 4: View from south access road to east.



Land Use Bylaw

The subject property is located within the Direct Control – Sand, Gravel and Surface Mineral District of the Land Use Bylaw. “Sand, Gravel and Surface Mineral Extraction” and “Sand, Gravel and Surface Mineral Processing” are listed as uses decided by Council. These uses are defined as:

“Sand, Gravel and Surface Mineral Extraction” means the extraction of aggregate materials found on or under the subject site and may include the processing (i.e. crushing, washing, cleaning, sifting, sorting, combining with other aggregates, stockpiling, and/or packaging in preparation for hauling) of aggregate materials extracted from the subject site. This use includes the loading and hauling of aggregates off-site as well as the reclamation of the site. Typical uses include, but are not limited to, gravel pits, sand pits, clay pits, coal mining, and stripping of topsoil.

“Sand, Gravel and Surface Mineral Processing” means the processing (i.e. crushing, washing, cleaning, sifting, sorting, combining with other aggregates, stockpiling, and/or packaging in preparation of hauling or sales) of aggregate materials. This use includes the loading and

hauling of aggregates off-site as well as the on-site sales of aggregate material. This use does not include aggregate extraction.

Administration finds that the proposed activities for the subject site fit the Land Use Bylaw definition of the two uses.

Relation to Alberta Environment and Protected Areas Authorization

The Province's Conservation and Reclamation Regulation lists the requirements for pits on private land. A Class 1 pit is defined as being equal to or greater than 5 ha in size. Class 1 pits are subject to the code of practice for pits and must be registered under the EPEA.

Operation

The Activities Report provides the following information regarding the operation:

- The pit activities will be carried out by a third party under lease with the pit operator,
- The amount and timing of hauling will be dependent on the requirements of individual projects.
- Dust will be controlled by watering the haul roads and stockpile/processing area as required.
- Noise will be mitigated by conducting all screening activities internally within the pit, restricting the use of retarder brakes, properly maintaining equipment, ensuring the truckers adhere to speed limits, and limiting work to daylight hours.
- Methods to control weeds include mowing, mowing and broadcast spraying or spot spraying of herbicides.
- Erosion will be controlled by directing drainage into the excavation.
- The entire site is fenced with a barbed wire fence. No trespassing, open excavation signs are posted along the fence as well.
- All equipment will be parked in the current mining phase, access to the site is controlled by a locked security gate.

Groundwater Impact and Wetlands

The proposed development is considered a dry pit, and excavation will occur above the elevation of the water table. There are no watercourses or wetlands within the Project area.

Historical Resources

The subject property is not identified as a site of interest.

Visual Impacts on Adjacent Residences

The nearest dwelling is located approximately 850m south of the project area. The proposed pit area is not expected to have any significant visual impact on adjacent residences.

Noise

County policy requires an expert report on noise to be conducted if the operations are located within 400m of a residence. There are no dwellings in that distance, so no noise studies are required.

Air Quality

County policy requires an expert air quality report to be submitted as part of the Development Permit application if there are residences within 400m of the development area. No dwellings are present within this distance; therefore, no air quality study is required.

Access and Haul Routes

The Applicant intends to develop the site as needed to supply orders for gravel from perspective customers meaning the hauling of gravel from the site will be on an as needed basis. At peak hauls no more than 10 loads are expected to leave the site per day with yearly hauled volume expected to be 4,000m³ (represents approximately 6,400 tonnes if the hauled material is gravel).

The existing entrance to the subject pit is via Range Road 20-3 and is approximately 1,900 m south of the intersection with the Scollard Road. The Scollard Road is one of the designated routes that is regularly used to haul gravel from pits in the area south of Highway 590 north to access Highway 590. The entrance to the pit has clear sightlines in both directions.

Administration has no concerns about access to the subject site. Road use agreements will be required as per County Policy for hauling out of the site.

Reclamation

The intended reclamation plan is to return this area to grassland on a maximum of 3:1 slopes. The applicant intends to apply progressive reclamation with recontouring and sloping of each phase occurring once mineable material has been removed. Materials to be used in the reclamation process will be sourced from salvaged material from stripping of the site and made up of topsoil and subsoil. All available topsoil and subsoil will be spread evenly for reclamation. The land will then be seeded to bring it back to a grassland capability. Appendix B shows the reclamation cross sections that have been approved by Alberta Environment and Protected Areas (AEPA).

The cost of reclamation is subject to economic fluctuation and may change over the years. The operator must follow the requirements of the *Code of Practice*, which includes the provision of new securities no later than 5 years after the previous pit registration occurred. The onus is on the Applicant to comply with the provincially regulated *Code of Practice* requirements.

The amount of security currently submitted to AEPA is \$155,000 which covers the future reclamation of the entire subject site.

Duration of Permit

The Direct Control – Sand, Gravel and Surface Mineral District of the Land Use Bylaw does not have a set duration for a permit that approves a “Sand, Gravel and Surface Mineral Extraction” or “Sand, Gravel and Surface Mineral Processing” use. The decision rests with Council. Administration recommends that a duration of ten (10) years be applied to this approval.

Referral Comments

The application was sent to adjacent landowners. No comments or objections were received.

Financial

There are no impacts related to this decision.

Policy/Legislation

Municipal Government Act Chapter M-26 Revised Statutes of Alberta 2000, Sections 606, 639, 640 and 692 and County of Stettler Land Use Bylaw 1443-10, as amended.

Strategic Plan Linkages

Emerging issue

Implementation/Communication

No formal public communication is required beyond the usual notice requirements of the Land Use Bylaw.

Target Decision Date

Wednesday, March 25, 2026

Prepared By

Craig Teal, RPP MCIP, Director of Planning and Development

Reviewed By

Yvette Cassidy, Chief Administrative Officer

ATTACHMENTS:

Appendix A: Site Plan or "Development Plan" dated May 2025

Appendix B: Reclamation Plan and Cross Sections

Draft Development Permit DP25019

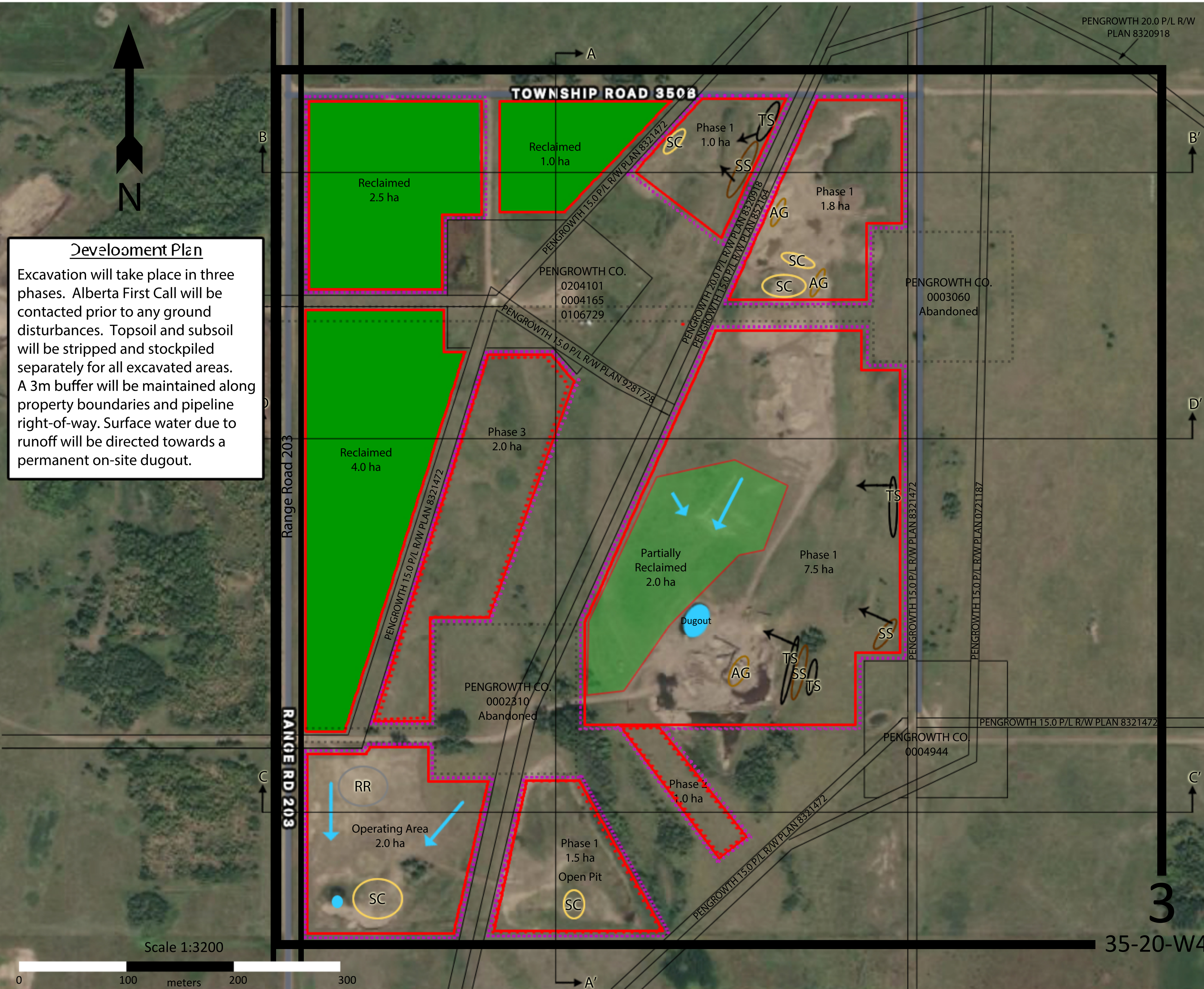
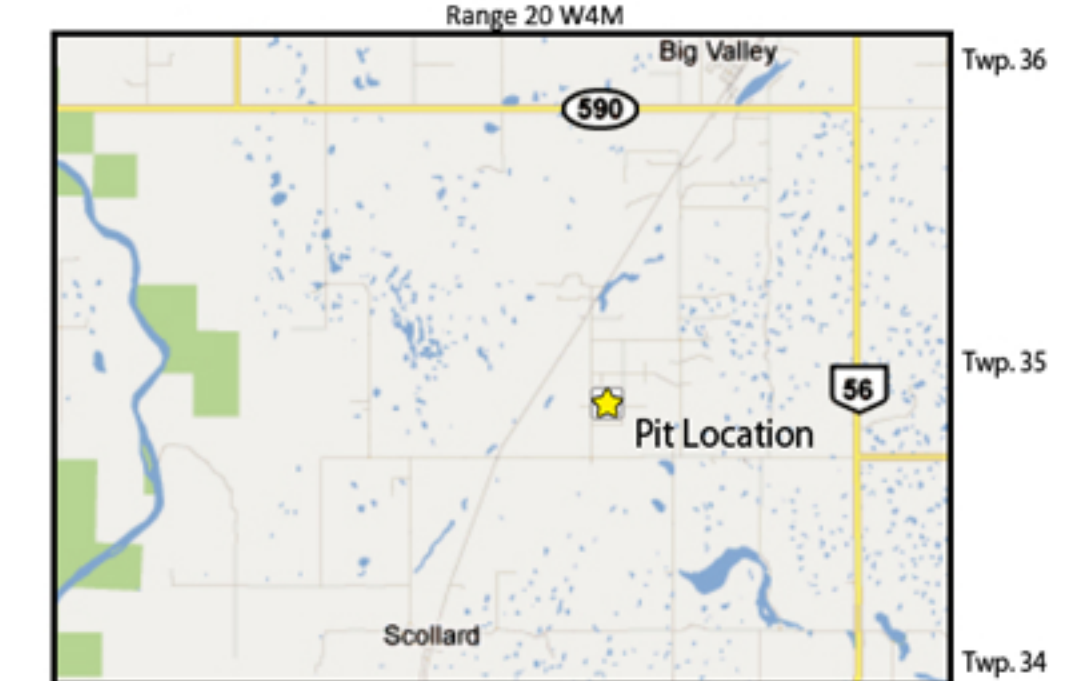
APPENDIX A

Louis Hermus

The Hermus Pit Development Plan
NW 3-35-20 W4

LEGEND

- Features**
- Property Boundary
 - Pit Boundary
 - Open Pit
 - Location of Cross Section
 - Pipeline or Well Site
 - Abandoned Well Site
 - 3m Undisturbed Buffer
 - Reclaimed Area
 - Partially Reclaimed Area
 - Drainage Direction
 - Waterbody
- Existing Stockpiles**
- RR Riprap
 - TS Topsoil
 - SS Subsoil
 - AG Aggregate
 - SC Screenings
- Proposed Stockpiles**
- TS Topsoil
 - SS Subsoil
- Materials Handling**
- Replace from Stockpile



Development Plan

Excavation will take place in three phases. Alberta First Call will be contacted prior to any ground disturbances. Topsoil and subsoil will be stripped and stockpiled separately for all excavated areas. A 3m buffer will be maintained along property boundaries and pipeline right-of-way. Surface water due to runoff will be directed towards a permanent on-site dugout.

Applicant: Louis Hermus
PO Box 131
Big Valley, Alberta T0J 0G0
Tel: 403.740.5590 Fax: 403.876.2562

Date: 01/2009	Revised: 05/2025	Date of Air Photo: 08/2020
Drawing No: 1	Drawn and prepared by: Chelsea Hermus	

3
35-20-W4

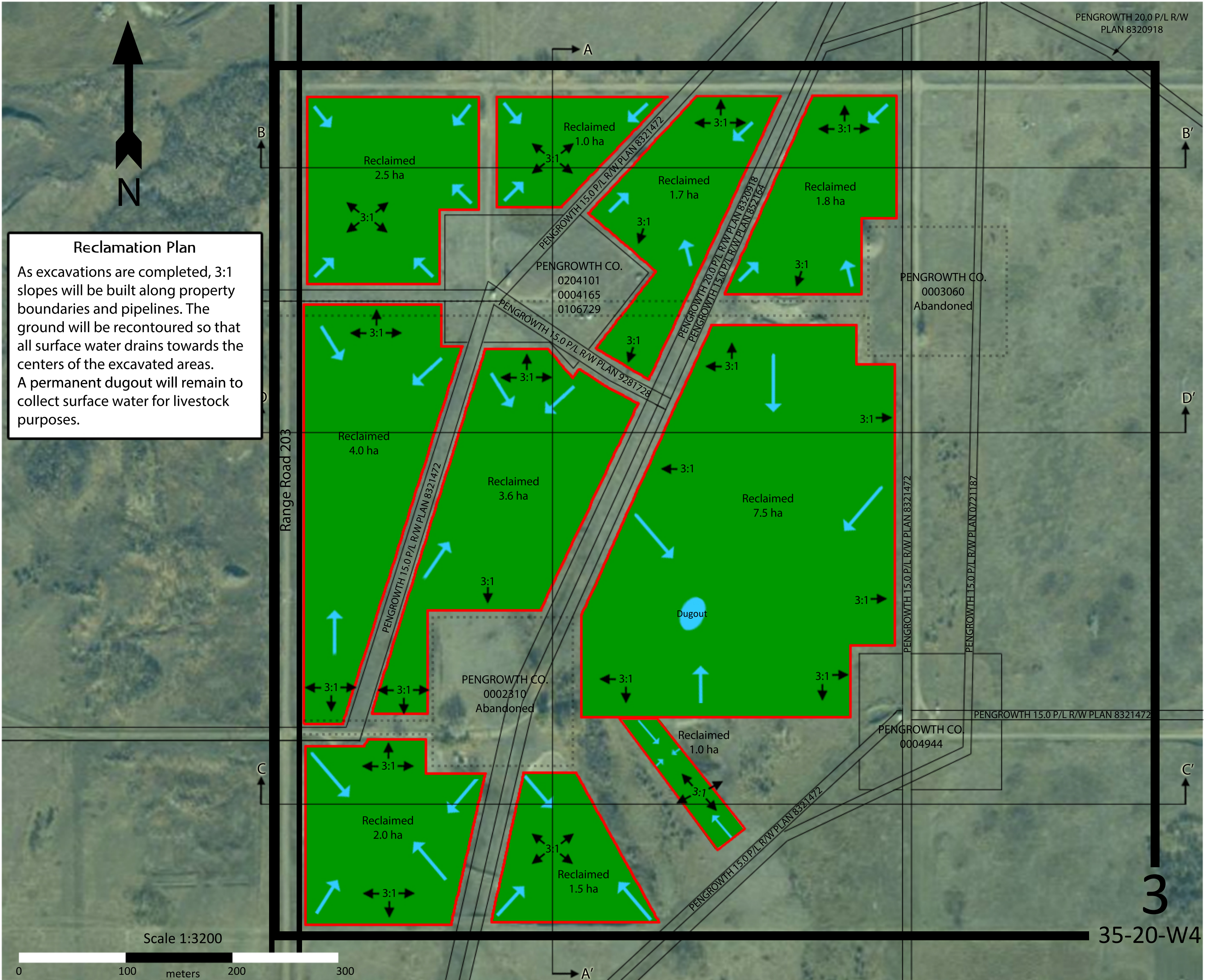
APPENDIX B

Louis Hermus

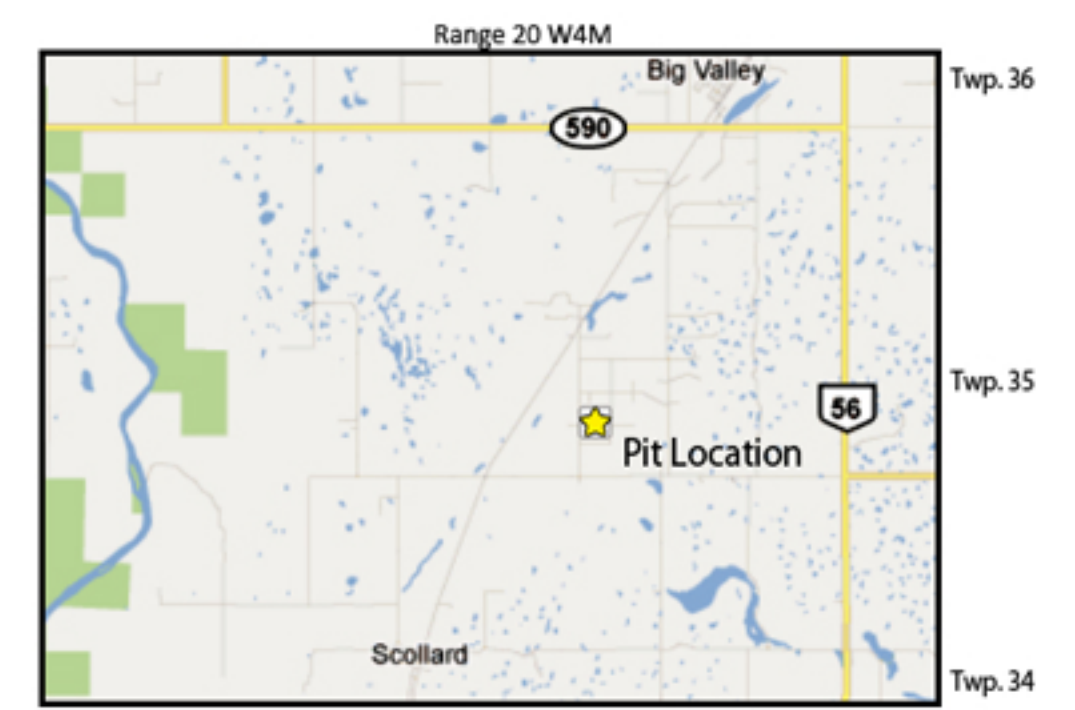
The Hermus Pit Reclamation Plan
NW 3-35-20 W4

LEGEND

Features	
	Property Boundary
	Location of Cross Section
	Pipeline or Well Site
	Abandoned Well Site
	Reclaimed Slope (no steeper than)
	Reclaimed Area
	Drainage Direction
	Waterbody



Reclamation Plan
As excavations are completed, 3:1 slopes will be built along property boundaries and pipelines. The ground will be recontoured so that all surface water drains towards the centers of the excavated areas. A permanent dugout will remain to collect surface water for livestock purposes.



Applicant: Louis Hermus
PO Box 131
Big Valley, Alberta T0J 0G0
Tel: 403.740.5590 Fax: 403.876.2562

Date: 01/2009	Revised: 05/2025	Date of Air Photo: 30/04/2007
Drawing No: 2	Drawn and prepared by: Chelsea Hermus	

Louis Hermus

The Hermus Pit Cross-Sections NW 3-35-20 W4

LEGEND

Features	
	Permanent Lease Road
	Property Boundary
	Excavation Limit
	Pipeline Right of Way
	Topsoil
	Subsoil
	3m Undisturbed Buffer
	Facility Buffer
	Location of Cross Section
	Original Ground Profile
	Reclaimed Slope (no steeper than)
	Drainage Direction
	Sand & Gravel
	Bedrock/Till
	Overburden/Screenings
	Aggregate

Notes

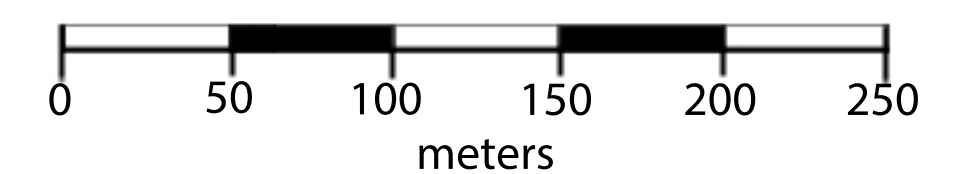
Elevations were estimated using corrected Garmin GPS data.

Vertical Scale

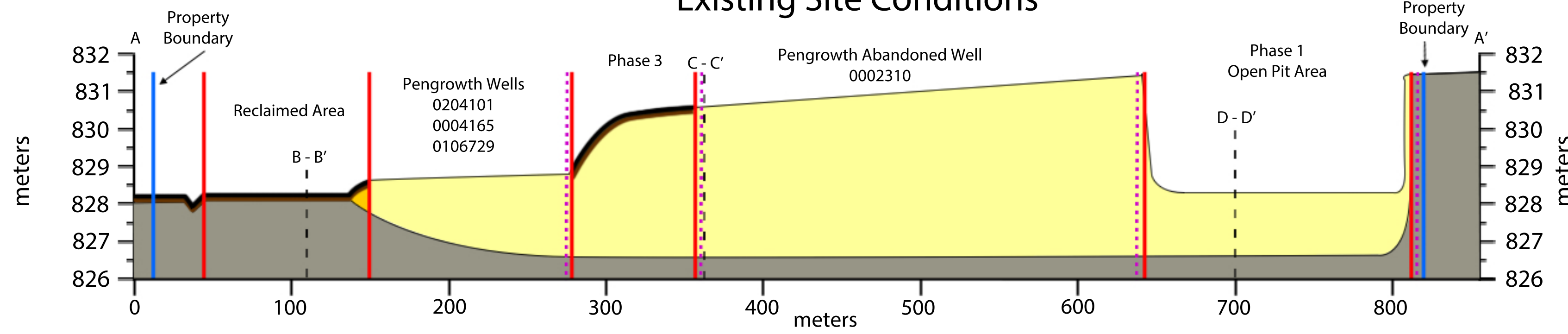
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Horizontal Scale

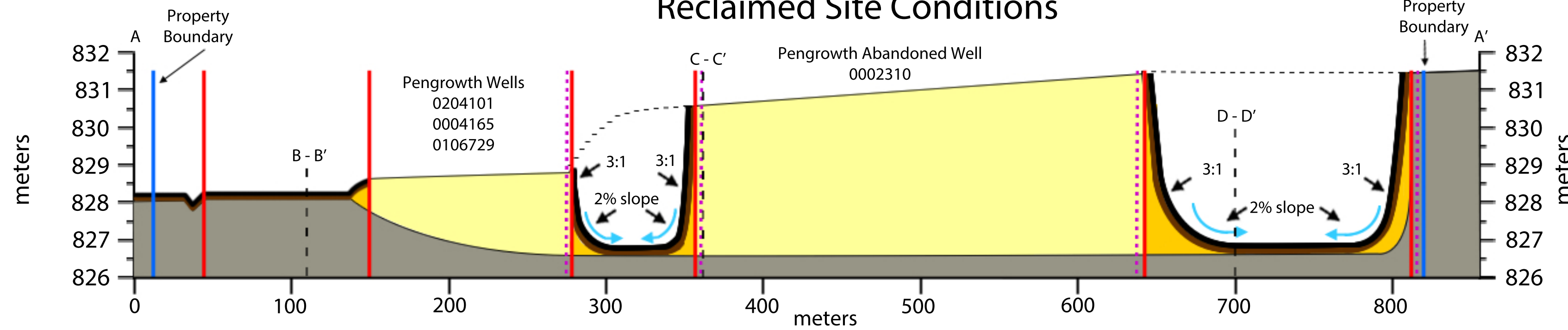
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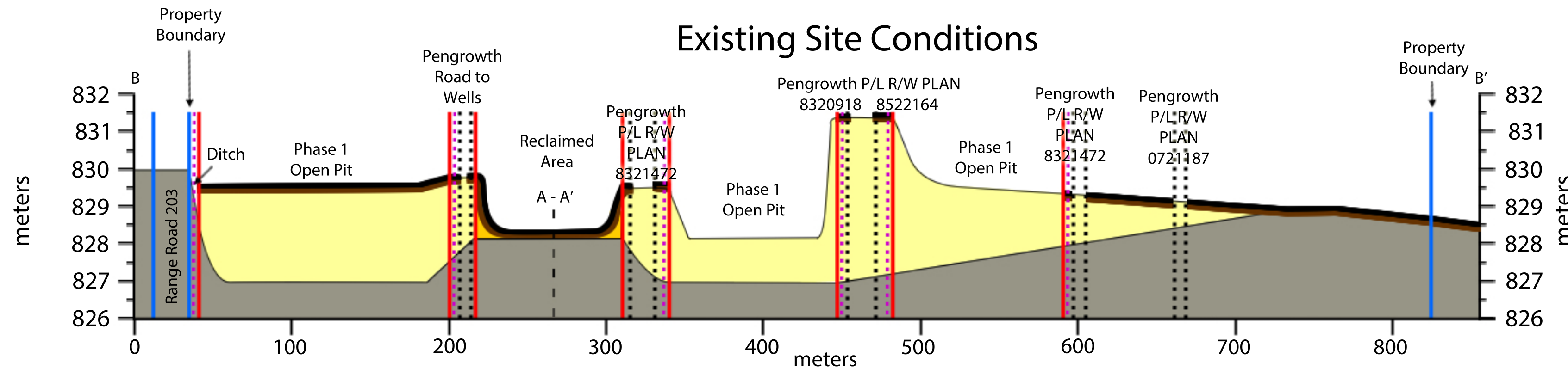
Existing Site Conditions



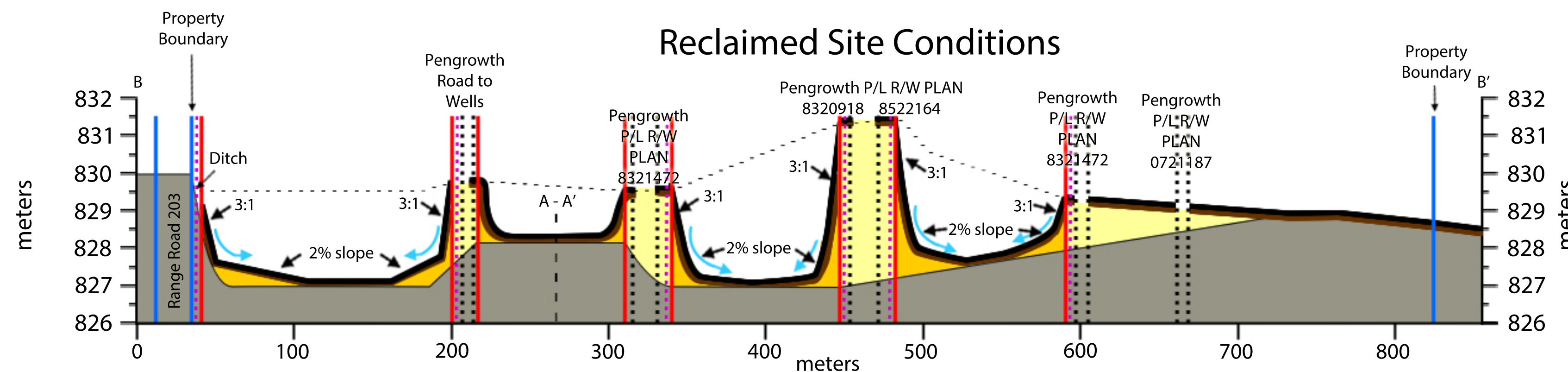
Reclaimed Site Conditions



Existing Site Conditions



Reclaimed Site Conditions



Applicant: Louis Hermus
 PO Box 131
 Big Valley, Alberta T0J 0G0
 Tel: 403.740.5590 Fax: 403.876.2562

Date: 01/2009

Revised: 05/2025

Drawing No: 3

Drawn and prepared by: Chelsea Hermus

Louis Hermus

The Hermus Pit Cross-Sections NW 3-35-20 W4

LEGEND

Features	
	Permanent Lease Road
	Property Boundary
	Excavation Limit
	Pipeline Right of Way
	Topsoil
	Subsoil
	3m Undisturbed Buffer
	Facility Buffer
	Location of Cross Section
	Original Ground Profile
	Reclaimed Slope (no steeper than)
	Drainage Direction
	Sand & Gravel
	Bedrock/Till
	Overburden/Screenings
	Aggregate

Notes

Elevations were estimated using corrected Garmin GPS data.

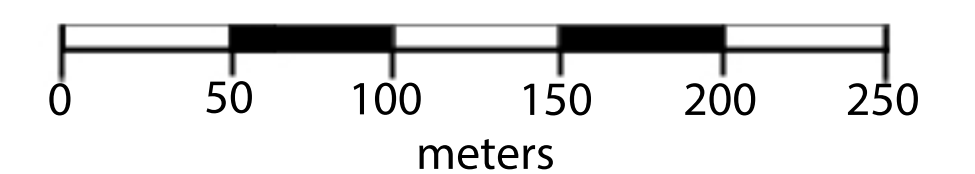
Vertical Scale

Scale 1:150



Horizontal Scale

Scale 1:3200



Applicant: Louis Hermus
 PO Box 131
 Big Valley, Alberta T0J 0G0
 Tel: 403.740.5590 Fax: 403.876.2562

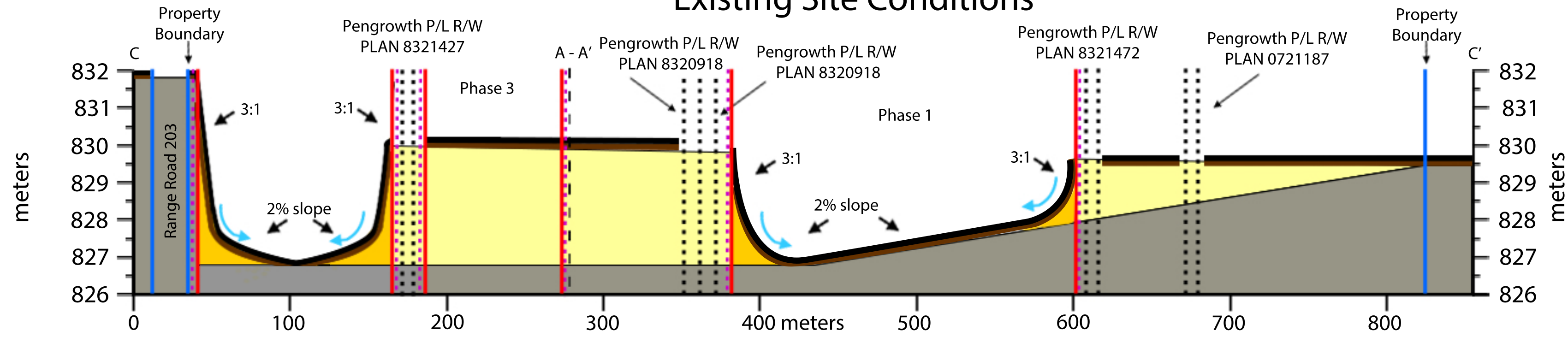
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01/2009

Revised:
05/2025

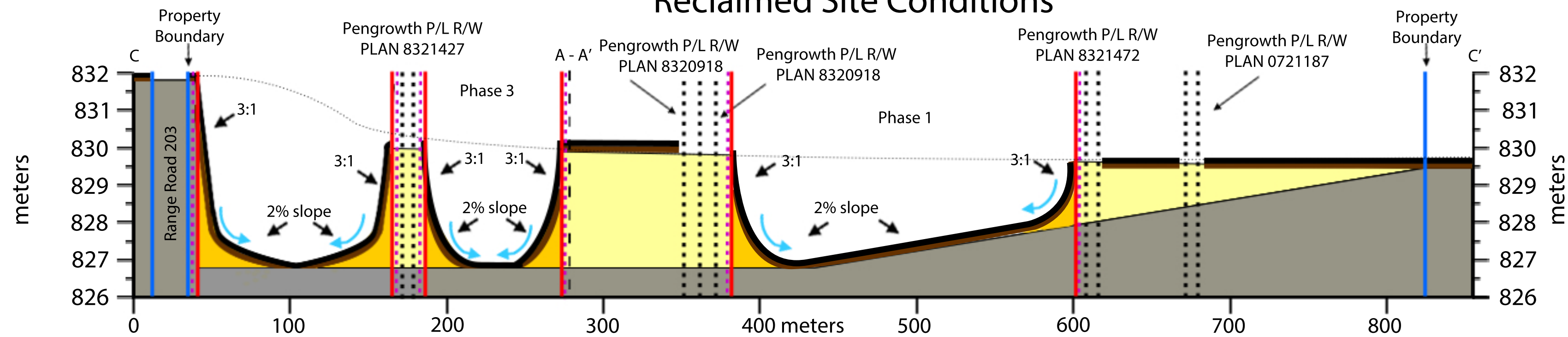
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Drawn and prepared by:
Chelsea Hermus

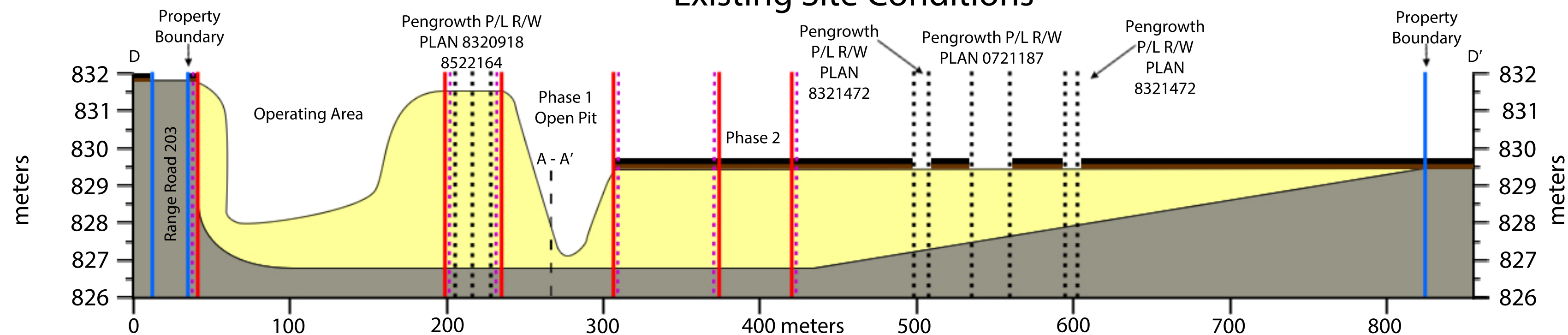
Existing Site Conditions



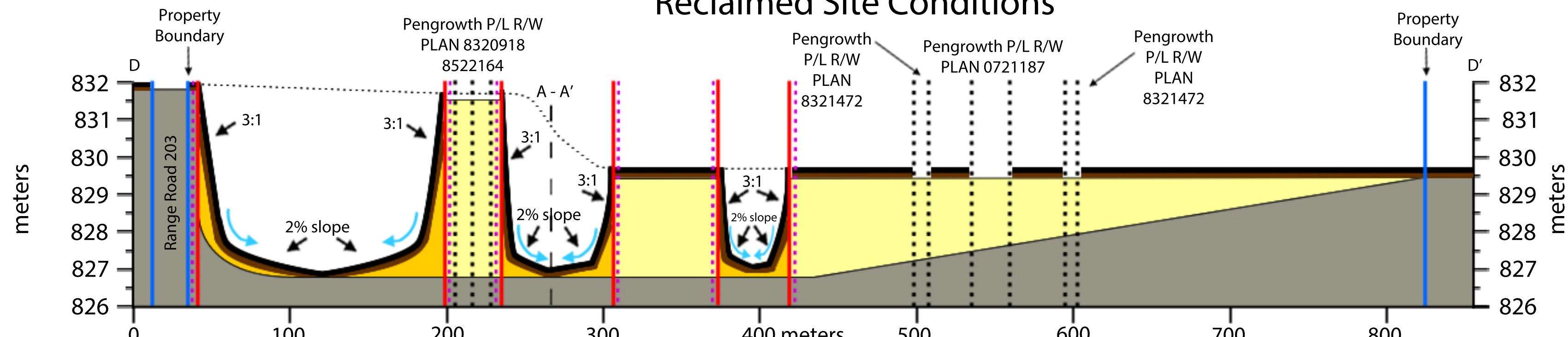
Reclaimed Site Conditions



Existing Site Conditions



Reclaimed Site Conditions





COUNTY OF STETTLER NO. 6

Development Permit No. DP 25019

THIS DEVELOPMENT PERMIT IS HEREBY ISSUED TO:

Applicant: Buffalo Jump Contracting Inc.
Address: Box 131 Big Valley AB T0J 0G0
Owner: Louis & Janice Hermus

In respect of development involving: Sand, Gravel and Surface Mineral Extraction

Legal description of land to be developed: NW-3-35-20-W4M
Roll Number: 494600
Rural Address: None assigned
Zoning District: Direct Control – Sand, Gravel and Surface Mineral

Pursuant to Land Use Bylaw No. 1443-10, as amended, and as described by the Applicant in Development Permit Application No. DP 25019 and the following documents submitted with the application:

1. Development Permit Application Form
2. Activities Report Hermus Pit dated May 2025
3. The Hermus Pit Development Plan dated May 2025 – see attached (the “Site Plan”)

You are hereby granted **CONDITIONAL APPROVAL** to proceed with the Sand, Gravel and Surface Mineral Extraction and Sand, Gravel and Surface Mineral Processing development on the NW-3-35-20-W4M.

The following variances have been granted as part of this approval:

1. None.

This approval is subject to compliance with the following conditions:

Area Approved for Development

1. Unless otherwise specifically identified in a condition of this approval, the development of the property shall be limited to the portions of the property that are identified as being within the “Pit Boundary” as shown on the Site Plan.
2. An undisturbed buffer of at least 3 metres in width shall be maintained between the excavation and the boundaries of each of the areas shown within a “Pit Boundary” on the Site Plan.

Approved Activities

3. Except where specifically modified by a condition of this approval, the activities approved as part of the development shall be carried out in accordance with the Activities Report dated May 2025.

4. Excavation, processing and hauling activities shall be allowed up until 10 years from the date this permit application was approved by Council. No extraction, processing or hauling is permitted after March 25, 2036. The reclamation activities required in this permit continue to be approved and in force beyond March 25, 2036.
5. Excavation and processing of sand and/or gravel shall be limited to Monday to Friday between the hours of 7:00 AM and 7:00 PM and Saturdays between the hours of 7:00 AM and 5:00 PM.
6. Loading and hauling of sand and/or gravel shall be limited to Monday to Friday between the hours of 7:00 AM and 7:00 PM and Saturdays between the hours of 7:00 AM and 5:00 PM. Additionally, loading and hauling outside these hours may be approved by the County.

Access and Road Use

7. All hauling of materials and equipment to and from the development area shall require a Road Use Agreement to be in place with the County of Stettler prior to the haul commencing. The person or company responsible for the haul shall enter into, and comply with the terms and conditions of a Road Use Agreement satisfactory to the County. The operator of the development shall not permit any hauls from the development area without the required Road Use Agreement being in place.

Off-Site Impacts

8. The operation shall not create a public nuisance beyond the property boundary by way of dust, noise or vibration that exceeds a threshold that could be reasonably expected, at the County's discretion, from this type of operation.
9. Dust control shall be implemented as deemed necessary by the County. This shall include, but is not limited to, watering or application of dust control products within the property, at no cost to the County.

Signage and Security

10. A sign indicating the approval of the development, which shall include the operator's name and contact information is to be posted near the entrance of the pit. This sign must be in place no later than June 30, 2026. This sign must be maintained and updated as required while the use and development continue and up to the time that the development area has been reclaimed.
11. Appropriate warning signs and traffic signs to inform the public of potential operational and site hazards shall be posted near the entrance of the development and along the perimeters of the site. These signs must be maintained and updated as required while the use and development continue and up to the time that the development area has been reclaimed.
12. A secure fence shall be maintained along the perimeter of the quarter section containing the development.
13. A secure gate shall be maintained at the access point to the development area. The gate shall be locked during non-operating hours.

On-site Storage and Materials

14. The development area shall be kept in a clean and tidy condition free of rubbish, concrete, lumber products, other foreign materials or products and non-aggregate debris. No garbage shall be imported to the development area; and all garbage, recyclables and used oil is to be removed to an approved disposal facility.

Reporting

15. An annual report shall be submitted to the Development Officer by September 30 of each year, indicating the following information:
 - a. The material and volume of each stockpile within the development area;
 - b. The elevations throughout the development area – including pit face elevations; and
 - c. A current air photo of the development area.The first annual report must be provided on or before September 30, 2026.
16. If the Alberta Environment and Protected Areas registration lapses or is cancelled, all activities related to the approved use and development shall cease. The County must be notified in writing if the registration lapses, is cancelled or changes, or if an application is made for a change to the Alberta Environment and Protected Areas registration.

Reclamation

17. Reclamation of the “Development Area” shall be in accordance with the Reclamation Plan registered with Alberta Environment and Protected Areas.
18. Reclamation of the last phase of the development area must commence no later than 12 months after the date that extraction activity ceased or was no longer permitted. Reclamation of the development area must be completed within 24 months of the date that extraction activity ceased or was no longer permitted. The Development Officer may agree to provide a one-time time extension of 12 months to the 24-month reclamation period.

Date of Decision: March 25, 2026

Signed

Development Officer

Attachments:

Site Plan

APPEAL PROVISIONS

The Applicant for this development permit may direct any questions about an appeal of this decision by giving notice in writing to the Land and Property Rights Tribunal, 2nd Floor, 1229 – 91 Street SW, Edmonton, AB, T6X 1E9 not later than 21 days from the date that this decision was provided to the Applicant.

Notes for Information and Follow-up by Applicant:

- a. The issuance of a Development Permit indicates only that the development to which the Development Permit relates is authorized in accordance with the provisions of the County of Stettler No. 6 Land Use Bylaw and does in no way relieve or excuse the Development Permit holder from obtaining any other permit (including safety codes permits e.g. building, electrical, gas, plumbing, etc.), license, or other authorization required by any Federal or Provincial Act or regulation, or under any Bylaw of the County, or complying with the conditions of any easement, covenant, agreement, or other instrument affecting the building or land. It remains the developer's or applicant's responsibility to ensure compliance with these matters. Further, the issuance of this development permit specifically does not absolve the applicant or the landowner from their responsibility to comply with the *Environmental Protection and Enhancement Act*, the *Water Act* or the *Public Lands Act*, for example, relative to impacting a wetland on the subject property, but not excluding other provisions. It is the applicant or landowner's responsibility to undertake a wetland assessment of the subject property by a Qualified Wetland Science Practitioner to determine if any of the activities permitted under this development permit may impact a wetland.
- b. The Land Use Bylaw contains development standards and regulations that apply to but cannot be listed in this development permit due to limited space. These regulations address matters relating to many aspects of the approved development or use, such as access points, lines of sight, public safety setbacks, to mention a few. It is the applicant's or developer's responsibility to ensure that they are fully aware of all the applicable development standards and regulations in the Land Use Bylaw that may apply to the proposed development or use by contacting the County's Planning and Development department.
- c. The applicant/property owner is responsible for:
 - i. determining the legal property boundaries and any applicable easements through a survey by an Alberta Land Surveyor;
 - ii. ensuring that any structures approved under this development permit are constructed such that they are correctly set back from the property boundaries in compliance with the front, rear and side yard setbacks approved in this development permit;
 - iii. ensuring that the development approved under this development permit shall not disturb, affect or alter conditions of all utilities and appurtenances, drainage rights-of-way, utility rights-of-way, access rights-of-way and any easements as they may exist, over, under, or through the Lands;
 - iv. ensuring that the construction activity approved under this Development Permit is undertaken in a manner that does not cause a disturbance or damage to adjacent properties;
 - v. making suitable arrangements with utility companies for provision of all services and/or necessary easements for utility rights-of-way;
 - vi. notifying Alberta 1st Call at 1-800-242-3447 to arrange for field locating prior to construction, should any excavations be required near utility lines;
 - vii. ensuring that permanent structures are located outside the 1:100-year flood plain of any body of water;

- viii. ensuring that foundation and drainage systems are constructed under the supervision of a qualified geo-technical engineer on any slope exceeding 15% to protect the bank from erosion and to ensure slope stability;
- ix. ensuring that a 2-meter separation is provided between the water table and footings for the buildings;
- x. ensuring that the property is graded in such a manner that the rate and volume of surface runoff from storm water drainage do not exceed that which existed prior to the issuance of this Development Permit. Where an approved storm water management plan exists, the property must be graded in accordance with the storm water management plan.

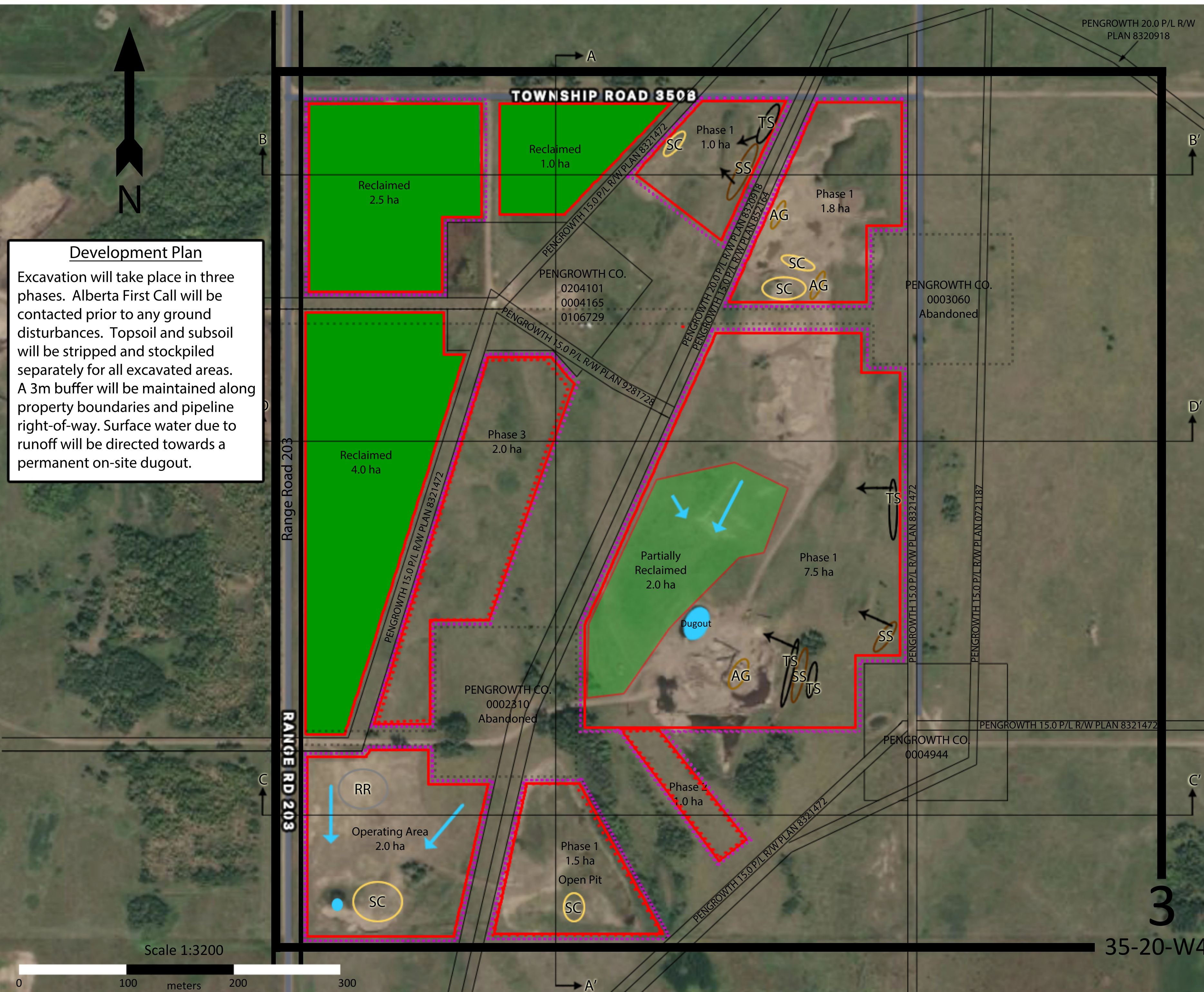
DRAFT

Louis Hermus

The Hermus Pit Development Plan NW 3-35-20 W4

LEGEND

- Features**
- Property Boundary
 - Pit Boundary
 - Open Pit
 - Location of Cross Section
 - Pipeline or Well Site
 - Abandoned Well Site
 - 3m Undisturbed Buffer
 - Reclaimed Area
 - Partially Reclaimed Area
 - Drainage Direction
 - Waterbody
- Existing Stockpiles**
- Topsoil
 - Subsoil
 - Riprap
 - Aggregate
 - Screenings
- Proposed Stockpiles**
- Topsoil
 - Subsoil
- Materials Handling**
- Replace from Stockpile



Development Plan

Excavation will take place in three phases. Alberta First Call will be contacted prior to any ground disturbances. Topsoil and subsoil will be stripped and stockpiled separately for all excavated areas. A 3m buffer will be maintained along property boundaries and pipeline right-of-way. Surface water due to runoff will be directed towards a permanent on-site dugout.

Applicant: Louis Hermus
 PO Box 131
 Big Valley, Alberta T0J 0G0
 Tel: 403.740.5590 Fax: 403.876.2562

Date: 01/2009	Revised: 05/2025	Date of Air Photo: 08/2020
Drawing No: 1	Drawn and prepared by: Chelsea Hermus	



Request for Decision

Agenda Item: Alberta Disability Services Professional Appreciation Week

Issue

The Alberta Disability Workers Association (ADWA) is seeking awareness through Alberta municipalities declaration of Alberta Disability Services Professional Appreciation week on the third week of May.

Options for Consideration (Recommendations)

That Council for the County of Stettler Council No. 6 proclaim May 18-24, 2026 as Alberta Disability Services Professional Appreciation Week.

General

The [Alberta Disability Workers Association \(ADWA\)](#) is the established professional voice and advocate for the 15,000+ professionals employed in Community Disability Services (CDS) across the Province of Alberta. ADWA was formed in 2010, and one of our important roles is to heighten Albertans' awareness of our essential and valuable workforce by publicly recognizing the positive impact the profession has on the lives of people with disabilities, their families, and the overall community. ADWA is a professional association, not a union; our members are Community Disability Service professionals who voluntarily register for membership.

In 2023 the Minister of Seniors, Community and Social Services, declared the third week in May, starting on Monday, as the Alberta Community Disability Services Professional Appreciation week. This declaration, which as of 2024 and 2025 has been enacted in perpetuity (3rd Monday in May), is a testament to the unwavering dedication and invaluable contributions made by disability service professionals in our communities.

Financial

There would be no cost to the proclamation.

Implementation/Communication

If directed to proceed, the County of Stettler will inform the Town of Stettler of our participation in a joint proclamation signing scheduled for Friday, May 1, and to promote the Alberta Disability Services Professional Appreciation week.

Target Decision Date

Wednesday, March 25, 2026

Prepared By

Niki Thorsteinsson, Director of Communications

Reviewed By

Yvette Cassidy, CAO

Alberta Disability Services Professional Appreciation Week May 18-24, 2026

WHEREAS, over 15,000 people are employed in the Community Disability Services sector in the Province of Alberta; AND

WHEREAS having a disability is often isolating for individuals, it is crucial we support this sector and its employees to make sure every Albertan is given the opportunity to live rich, meaningful lives in their communities through access to services; AND

WHEREAS disability services workers are valued for the positive impact their work has on the lives of people with disabilities and their families; AND

WHEREAS the Province of Alberta recognizes the important work of the Alberta Disability Workers Association for its advocacy in raising awareness among Albertans of this essential workforce.

NOW, THEREFORE, I, Larry Clarke, Reeve of the County of Stettler of the Province of Alberta, Canada, and I, Gordon Lawlor, Mayor of the Town of Stettler of the Province of Alberta, do hereby proclaim May 18-24, 2026 to be Alberta Disability Services Professional Appreciation Week in the Town and County of Stettler, Alberta.

THIS DATE:

REEVE, LARRY CLARKE
COUNTY OF STETTLER NO. 6

THIS DATE:

MAYOR, GORDON LAWLOR
TOWN OF STETTLER

Subject: Alberta Disability Services Professional Appreciation Week for May 18 to May 24th, 2026



To Your Worship,

Re: Alberta Disability Services Professional Appreciation Week

May 18 to May 24th, 2026

I am writing this letter in my capacity as Board President of the Alberta Disability Worker Association (ADWA) to bring awareness to a matter of significance.

The [Alberta Disability Workers Association \(ADWA\)](#) is the established professional voice and advocate for the 15,000+ professionals employed in Community Disability Services (CDS) across the Province of Alberta. ADWA was formed in 2010, and one of our important roles is to heighten Albertans' awareness of our essential and valuable workforce by publicly recognizing the positive impact the profession has on the lives of people with disabilities, their families, and the overall community. ADWA is a professional association, not a union; our members are Community Disability Service professionals who voluntarily register for membership.

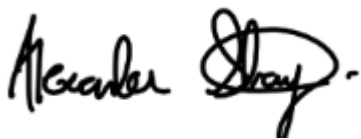
In 2023 the Minister of Seniors, Community and Social Services, declared the third week in May, starting on Monday, as the Alberta Community Disability Services Professional Appreciation week. This declaration, which as of 2024 and 2025 has been enacted in perpetuity (3rd Monday in May), is a testament to the unwavering dedication and invaluable contributions made by disability service professionals in our communities.

I respectfully request that where possible Alberta's municipalities join ADWA for 2026 in acknowledging this significant occasion. By doing so, we can collectively raise awareness about the essential role that Community Disability Services Professionals play in enhancing the lives of individuals with disabilities who live, work, and play in communities across Alberta. One example of acknowledgement is that we are hoping municipalities will "**light up with the colour orange**", or for municipalities to join the provincial government in declaring the week, or a portion of the week, in recognition of Alberta Community Disability Services Professionals across the province. If you should have any questions, please contact Colleen Huston colleen.h@adwa.ca

Your support in this initiative would not only serve to honor the dedicated professionals working in disability services but also encourage a more inclusive and understanding societal ethos.

Thank you in advance for your consideration.

All the best,

A handwritten signature in black ink that reads "Alexander Stoye". The signature is written in a cursive, flowing style.

Alexander Stoye, Alex.S@adwa.ca

Board President for Alberta Disability Workers Association (ADWA)

www.adwa.ca | c/o 9779-54 Avenue, Edmonton, AB, T6E5J4 | info@adwa.ca

Colleen Huston

(she/her/hers)

Communications and
Membership Engagement

Alberta Disability Workers
Association ADWA

colleen.h@adwa.ca

<image004.png> www.adwa.ca

% 9779-54 Avenue
NW,
Edmonton, AB T6E
5J4



Request for Decision

Agenda Item: Setting Dates for Upcoming Committee of the Whole Meetings

Issue

Council has requested that Administration bring back proposed dates for upcoming Committee of the Whole meetings.

Options for Consideration

1. That Council schedule a Committee of the Whole meeting for April ____, 2026.
and/or
2. That Council schedule a Committee of the Whole meeting for May ____, 2026.
and/or
3. That Council schedule a Committee of the Whole meeting for June ____, 2026.
or
4. That Council directs Administration bring back proposed dates for Committee of the Whole meetings for dates later into 2026.

General

The following dates were identified as possible dates where most of Council are available:

April

- Friday, April 17, 2026
- Thursday, April 23, 2026
- Monday, April 27, 2026

May

- Thursday, May 7, 2026
- Tuesday, May 19, 2026
- Thursday, May 28, 2026

June

- Monday, June 8, 2026
- Thursday, June 18, 2026
- Monday, June 22, 2026

Committee of the Whole is a Council Committee consisting of all Councillors. This committee has not been delegated any authority, so it is limited to making recommendations to Council and Administration. Additionally, as a committee, the meetings are not streamed, though they are open to the public unless the committee goes in-camera in accordance with the ATIA and POPA.

Committee of the Whole meetings serve as a discussion-focused forum and are less formal than regular Council meetings. Agenda items are intended for preliminary consideration and, as such, do not typically include the same level of background analysis or documentation prepared by Administration for formal

Council decisions. This format enables Council to engage in detailed discussion and consideration of issues prior to any decision-making in a regular Council meeting.

Financial

The County of Stettler pays all members of Council a per diem, plus mileage, for all meetings of Council.

Policy/Legislation

Municipal Government Act, RSA 2000, c M-26

Council committee meetings

- 195** The municipality must give a least 24 hours' notice of a council committee meeting
- (a) to the members of the council committee, and
 - (b) to the public.

Public presence at meetings

197(1) Councils and council committees must conduct their meetings in public unless subsection (2) or (2.1) applies.

- (2) Councils and council committees may close all or part of their meetings to the public if a matter to be discussed is within one of the exceptions to disclosure in Division 2 of Part 1 of the [Access to Information Act](#).

...

County of Stettler Procedural Bylaw 1726-24

- 2.8 The following each operate as standing committees of the County of Stettler. Members shall be appointed to exercise the power and duties delegated to it by Council.
- 2.8.1 Committee of the whole is hereby established.
 - 2.8.1.1 Committee of the whole shall consist of all Councillors.
 - 2.8.1.2 Meetings shall be operated as a workshop to facilitate Administration gathering information to draft resolutions, bylaws, and other instruments by which Council can act.
 - 2.8.1.3 Committee of the whole shall not be delegated any authority to advance the business of the County.

Access to Information Act, SA 2024, c A-1.4

Local public body confidences

- 28(1)** The head of a local public body may refuse to disclose information to an applicant if the disclosure could reasonably be expected to reveal
- (a) a draft of a resolution, bylaw or other legal instrument by which the local public body acts, or
 - (b) the substance of deliberations of a meeting of its elected officials or of its governing body or a committee of its governing body, if an Act or a regulation under this Act authorizes the holding of that meeting in the absence of the public.
- (2)** Subsection (1) does not apply if
- (a) the draft of the resolution, bylaw or other legal instrument or the subject-matter of the deliberation has been considered in a meeting open to the public, or
 - (b) the information referred to in that subsection is in a record that has been in existence for 15 years or more.

Implementation/Communication

Any Committee of the Whole meetings that are scheduled will be advertised and communicated pursuant to County of Stettler policy.

Target Decision Date

March 25, 2026

Prepared By

Michelle Hoover, Legislative Assistant

Reviewed By

Yvette Cassidy, Chief Administrative Officer



Request for Decision

Agenda Item: Award MC-250 (Medium Curing Asphalt Oil Dust Suppressant) Tender for Gravel Road Dust Reduction Program

Issue

Award the 2026 MC-250 (Medium Curing Asphalt Oil Dust Suppressant) Supply and Apply Tender for use within the Gravel Road Dust Reduction Program.

Options for Consideration (Recommendation)

1. That the County of Stettler No. 6 award the 2026 MC-250 (Medium Curing Asphalt Oil Dust Suppressant) Tender to Read-on-Roads of High River, Alberta as per their proposal quote submission.

OR

2. That the County of Stettler No. 6 Council direct Administration to defer consideration of this matter to future planning.

General

A "Request for Quotes" was posted on the Alberta Purchasing Connection website for the Supply and Apply of MC-250 (Medium Curing Asphalt Oil Dust Suppressant) for use within the 2026 Gravel Road Dust Reduction program implemented by the County of Stettler Operations Department. The tender closed on March 9, 2026 and a tender opening was held immediately afterward. The following submissions were received:

Bidder's Name	Address1	City	Prov	P/C	Unit Price (if applicable)
Read on Roads Inc	PO Box 45125	High River	AB	T1V 1R7	\$1.1950/litre

Financial

Project costs are attributed to annual operating budget with residential portion billed to ratepayers through an invoice to ratepayers to offset the cost of supply and application. The contract will be extended to include applications on roads paid for by the County through the approved budget.

Policy/Legislation

Municipal Government Act, RSA 2000, Chapter M-26

Section 248 (1)

Where a municipality may only make expenditure that is: (1) included in an operating budget, interim operating budget or capital budget or authorized by the Council.

Strategic Plan Linkages

None.

Implementation/Communication

Subject to approval from Council, the supplier will be awarded the contract and Administration will prepare the Contracted Services Agreement for execution.

Target Decision Date

March 25, 2026

Prepared By

Greggory Jackson, Director of Operations

Reviewed By

Yvette Cassidy, Chief Administrative Officer



Request for Decision

Agenda Item: Award DL-10 (Asphalt Emulsion Dust Suppressant) Tender for Gravel Road Dust Reduction Program

Issue

Award the 2026 DL-10 (Asphalt Emulsion Dust Suppressant) Supply and Apply Tender for use within the Gravel Road Dust Reduction Program.

Options for Consideration (Recommendation)

1. That the County of Stettler No. 6 award the 2026 DL-10 (Asphalt Emulsion Dust Suppressant) Tender to Read-on-Roads of High River, Alberta as per their proposal quote submission.

OR

2. That the County of Stettler No. 6 Council direct Administration to defer consideration of this matter to future planning.

General

A "Request for Quotes" was posted on the Alberta Purchasing Connection website for the Supply and Apply of DL-10 (Asphalt Emulsion Dust Suppressant) for use within the 2026 Gravel Road Dust Reduction program implemented by the County of Stettler Operations Department. The tender closed on March 9, 2026 and a tender opening was held immediately afterward. The following submissions were received:

Bidder's Name	Address1	City	Prov	P/C	Unit Price (if applicable)
Read on Roads Inc	PO Box 45125	High River	AB	T1V 1R7	\$0.83/litre

Financial

Project costs are attributed to annual operating budget with residential portion billed to ratepayers through an invoice to ratepayers to offset the cost of supply and application. The contract will be extended to include applications on roads paid for by the County through the approved budget.

Policy/Legislation

Municipal Government Act, RSA 2000, Chapter M-26

Section 248 (1)

Where a municipality may only make expenditure that is: (1) included in an operating budget, interim operating budget or capital budget or authorized by the Council.

Strategic Plan Linkages

None

Implementation/Communication

Subject to approval from Council, the supplier will be awarded the contract and Administration will prepare the Contracted Services Agreement for execution.

Target Decision Date

March 25, 2026

Prepared By

Greggory Jackson, Director of Operations

Reviewed By

Yvette Cassidy, Chief Administrative Officer



Request for Decision

Agenda Item: Award MG-30 (Calcium Chloride/Magnesium Hydroxide) Tender for Gravel Road Dust Reduction Program

Issue

Award the 2026 MG-30 (Calcium Chloride/Magnesium Hydroxide) Supply and Apply Tender for use within the Gravel Road Dust Reduction Program.

Options for Consideration (Recommendation)

1. That the County of Stettler No. 6 award the 2026 MG-30 (Calcium Chloride/Magnesium Hydroxide) Supply and Apply tender to Kortech Calcium Services of Edmonton, Alberta as per their proposal quote submission.

OR

2. That the County of Stettler No. 6 Council direct Administration to defer consideration of this matter to future planning.

General

A "Request for Quotes" was posted on the Alberta Purchasing Connection website for the Supply and Apply of MG-30 (Calcium Chloride/Magnesium Hydroxide) for use within the 2026 Gravel Road Dust Reduction program implemented by the County of Stettler Operations Department. The tender closed on March 9, 2026 and a tender opening was held immediately afterward. The following submissions were received:

Bidder's Name	Address1	City	Prov	P/C	Unit Price (if applicable)
Kortech Calcium Services	9915 - 65 Ave	Edmonton	AB	T6E 0L1	\$0.285

Financial

Project costs are attributed to annual operating budget with residential portion billed to ratepayers through an invoice to ratepayers to offset the cost of supply and application. The contract will be extended to include applications on roads paid for by the County through the approved budget.

Policy/Legislation

Municipal Government Act, RSA 2000, Chapter M-26

Section 248 (1)

Where a municipality may only make expenditure that is: (1) included in an operating budget, interim operating budget or capital budget or authorized by the Council.

Strategic Plan Linkages

None.

Implementation/Communication

Subject to approval from Council, the supplier will be awarded the contract and Administration will prepare the Contracted Services Agreement for execution.

Target Decision Date

March 25, 2026

Prepared By

Greggory Jackson, Director of Operations

Reviewed By

Yvette Cassidy, Chief Administrative Officer



Request for Decision

Agenda Item: Upfitting of Fire Brush/Rapid Response Units

Issue

Upfitting of the two (2) New Registered Fire Service Brush/Rapid Response Units (Medium Duty Commercial Crew Cab & Chassis Pickup Truck)

Option for Consideration (Recommendation)

That the County of Stettler No. 6 approve the upfitting of two (2) purchased 2026 Ford F550 Crew Cab XLT by Jomac Welding and Fabrication Ltd., Jacked Custom Truck Installs Inc. and Flash Wildfire Services for \$83,322 plus GST per unit plus a \$6,678 per unit contingency for a total cost of \$180,000.

General

On November 12, 2025 County of Stettler Council approved the purchase of two (2) New Registered Fire Service Brush/Rapid Response Units (Medium Duty Commercial Crew Cab & Chassis Pickup Truck) to be deployed within the Heartland Regional Fire Services fleet of equipment/vehicles from Aspen Ford Sales for \$97,695 plus GST per unit. Since then, Heartland Regional Fire Services staff have been working to obtain quotes from various parties for the upfitting of these trucks. The following quotes were received:

- Jomac Welding and Fabrication <i>(truck deck & cabinets)</i>	Red Deer	AB	\$29,250	\$58,500
- Flash Wildfire Services <i>(Skid tank and pump)</i>	Sherwood Park	AB	\$22,600	\$45,200
- Jacked Custom Truck Installs <i>(Emergency lights, decals, front bumper)</i>	Red Deer	AB	\$31,472	\$62,944
				\$166,644
Rocky Mountain Phoenix	Red Deer	AB	\$224,238	\$448,476
Midwest Fire	Luverne	MN	USD	USD
			\$239,184	\$478,368

The 2025/6 Capital Budget included a provision of \$172,500 per unit for purchase of two Brush/Rapid Response units, with the full cost proposed to be funded from reserves, to replace the current Brush/Rapid Response units in stations 3 (Donalda) and 4 (Byemoor). The current units are from 1997 and 1994 respectively.

Quotes came significantly higher than originally anticipated necessitating the need to requote from various parties and breaking down the upfitting project into individual vendors. The costs for Jacked Custom Truck Installs included a Brushguard front bumper for the vehicle. This bumper system is used to help prevent or lessen damage to the vehicle (and its occupants) from wildlife strikes while driving. This cost was not projected in the original budget provisions. Should the full contingency be used the cost per unit before GST is \$187,695 plus GST, \$15,195 per unit over budget.

Financial

Funding for this purchase will be drawn from reserves.

Policy/Legislation

Municipal Government Act, RSA 2000, Chapter M-26

Section 248 (1)

Where a municipality may only make expenditure that is: (1) included in an operating budget, interim operating budget or capital budget or authorized by the Council.

Strategic Plan Linkages

2.2 Invest in right-sized fire equipment to meet the level of service established by Council, to increase efficiency in our emergency response capabilities, particularly in rural and wildfire-prone areas.

Implementation/Communication

Upon approval by Council, County Fire Services will proceed with this purchase.

Target Decision Date

March 25, 2026

Prepared By

Ivan Dijkstra, Manager County Fire Services

Troy Auton, County Fire Chief

Reviewed By

Yvette Cassidy, Chief Administrative Officer



Request for Decision

Agenda Item: Referral from Lacombe County - Municipal Development Plan and Land Use Bylaw Amendments

Issue

To review and comment on proposed bylaws that amend the Lacombe County Municipal Development Plan and the Lacombe County Land Use Bylaw that have been referred to the County of Stettler by Lacombe County.

Options for Consideration

That Administration sends written confirmation to Lacombe County that the County of Stettler has no objections or concerns with the proposed bylaws. (*Recommended Option*)

General

Lacombe County is proposing amendments to their Municipal Development Plan (MDP) and Land Use Bylaw (LUB) as part of their annual review of these two documents.

Some key updates are:

- In the MDP, amend the confined feeding operation referral policy to add that no new or expanded confined feeding operation shall be permitted less than 1.6 kilometres (1 mile) from the boundary of Chain Lakes, Gabriel Lake, Gadsby Lake, and Spotted Lakes
- In the LUB, remove 'recovery centre on W ½ Pt. SW 16-39-01-W5M' as a discretionary use in the Agricultural 'A' District
- In the LUB, amend the off-road vehicle storage regulations in the Recreational Vehicle Resort 'R-RVR' District to allow for two off-road vehicle units per condo unit and consider a trailer as one off-road vehicle unit, and clarify wording related to outdoor storage provisions
- In the LUB, amend the maximum height of accessory buildings in country and lakeshore residential districts from 20 ft (6.10 m) to 24 ft (7.32 m).

The purpose of the referral is to provide an opportunity to review the proposed changes for any potential impact on future planning and development on any adjacent lands in the County of Stettler. Comments on the referral should be limited to any potential impacts on the County of Stettler's own land use planning efforts.

Administration has reviewed the proposed bylaws in relation to possible impacts on planning for lands in the County of Stettler. No negative impacts on the County of Stettler's plans for lands along the shared boundary with Lacombe County are expected.

Comments on the referral are due prior to the public hearing scheduled for April 9, 2026.

Financial

No financial impacts.

Policy/Legislation

Municipal Government Act: Part 17.

Implementation/Communication

Administration will send written correspondence to Lacombe County with the County of Stettler feedback by the April 2, 2026 deadline.

Target Decision Date

March 25, 2026

Prepared By

Craig Teal, RPP MCIP, Director of Planning & Development

Reviewed By

Yvette Cassidy, Chief Administrative Officer

BYLAW NO. 1453/26

A BYLAW OF LACOMBE COUNTY, IN THE PROVINCE OF ALBERTA, TO AMEND THE LACOMBE COUNTY MUNICIPAL DEVELOPMENT PLAN, BYLAW NO. 1238/17 AS IT RELATES TO GENERAL REGULATIONS.

WHEREAS notice was given of Council’s intention to amend the Municipal Development Plan in the following local newspapers:

Newspaper **Date**

AND WHEREAS a public hearing was held on **Date, 2026** to allow the general public to comment on the proposed amendments to the Municipal Development Plan;

NOW THEREFORE the Council of Lacombe County under the authority and pursuant to the provisions of the *Municipal Government Act*, RSA 2000, c.M-26-1, as amended, enacts that the Municipal Development Plan be amended as follows:

PART II – IMPLEMENTATION

SECTION 3 – OUR AGRICULTURAL COMMUNITY

3.9 CONFINED FEEDING OPERATIONS

Insert the following subsections:

AG 3.9.1

The County shall provide input on applications for confined feeding operations to the Natural Resources Conservation Board (NRCB) under the *Agricultural Operation Practices Act*. The County’s support is subject to the following:

- b) no new *or* expanded confined feeding operation shall be permitted less than 1.6 kilometres (1 mile) from the boundary of Chain Lakes, Gabriel Lake, Gadsby Lake, and Spotted Lakes

This Bylaw shall come into effect upon final passage thereof.

INTRODUCED AND GIVEN FIRST READING this 12 day of March, 2026
GIVEN SECOND READING this **XX** day of **Month**, 2026
GIVEN THIRD AND FINAL READING this **XX** day of **Month**, 2026

John Ireland
Reeve

Tim Timmons
County Manager

BYLAW NO. 1454/26

A BYLAW OF LACOMBE COUNTY, IN THE PROVINCE OF ALBERTA, TO AMEND THE LACOMBE COUNTY LAND USE BYLAW, BYLAW NO. 1237/17 AS IT RELATES TO GENERAL REGULATIONS AND DISTRICT REQUIREMENTS.

WHEREAS notice was given of Council's intention to amend the Land Use Bylaw in the following local newspapers:

Newspaper	Date
-----------	------

AND WHEREAS a public hearing was held on **Date, 2026** to allow the general public to comment on the proposed amendments to the Land Use Bylaw;

NOW THEREFORE the Council of Lacombe County under the authority and pursuant to the provisions of the *Municipal Government Act*, RSA 2000, c.M-26-1, as amended, enacts that the Land Use Bylaw be amended as follows:

PART 6 – GENERAL REGULATIONS

6.2 ACCESSORY BUILDINGS AND USES

Update the following subsections:

- (3) Maximum height restrictions for accessory buildings shall be:
 - (a) Recreational Vehicle Resort 'R-RVR' District - 3.55 m (11 ft);
 - (b) Hamlet 'H' District, Hamlet Residential 1 'H-R1' District, Hamlet Residential 2 Mobile Home 'H-R2' District, Hamlet Residential 3 'H-R3' District, Higher Density Residential 'R-HDR' District, and Urban Fringe Residential 'R-UFR' District - 6.10 m (20 ft); and
 - (c) Country Residential 'R-CR' District, Country Residential Estate 'R-CRE' District, Residential Conservation (Cluster) 'R-RCC' District, Residential Lake Area 'R-RLA' District - 7.32 m (24 ft).

PART 7 – LAND USE DISTRICTS

7.1 AGRICULTURAL DISTRICT (A)

2 USES

Remove the following discretionary use:

'recovery centre on W ½ Pt. SW 16-39-01-W5M'

7.10 RECREATIONAL VEHICLE RESORT DISTRICT (R-RVR)

3 REGULATIONS

Update the following subsections:

(6) Site Limitations

- (b) Condominium unit outdoor storage shall be limited to two off-road vehicle units, including but not limited to an ATV, dirt bike, jet ski, golf cart, or snowmobile per condo unit. If two off-road vehicles are situated on a trailer, the trailer as a whole shall be considered one unit. Further, off-road vehicles stored within the confines of enclosed buildings shall not be considered a unit under this provision. Any off-road vehicles in excess of the abovementioned provision shall otherwise be stored in a communal storage area which has been appropriately situated and screened to the satisfaction of the Development Authority.

This Bylaw shall come into effect upon final passage thereof.

INTRODUCED AND GIVEN FIRST READING this 12 day of March, 2026

GIVEN SECOND READING this XX day of Month, 2026

GIVEN THIRD AND FINAL READING this XX day of Month, 2026

John Ireland
Reeve

Tim Timmons
County Manager

From: Poilievre, Pierre - M.P.

Sent: Thursday, March 19, 2026 10:17 AM

To: Office of the Reeve

Subject: Office of the Leader of the Official Opposition / Bureau du Chef de l'Opposition officielle

March 19, 2026

Mr. Larry Clarke
Reeve
County of Stettler
reeve@stettlercounty.ca

Dear Mr. Clarke

On behalf of the Hon. Pierre Poilievre, thank you for your correspondence regarding the Liberal governments decision to shut down numerous agriculture research sites across Canada, including Lacombe.

Conservatives strictly oppose these closures and call on Liberals to respect our scientists.

After spending more than \$19 billion last year on consultants, the Liberal government is now claiming it has no choice but to shut down agricultural research facilities and fire scientists and researchers. These closures target long-standing agricultural research centres that have provided producers with essential crop, soil and livestock research that directly supports on-farm success. This is yet another clear demonstration of the Liberal government's inability to set responsible priorities. These cuts come as the Liberal Agriculture Minister announced \$300 million in climate funding last year. At the same time, the Liberal government allocated \$8 million for 'gender-just, low-carbon rice in Vietnam' and \$22 million for 'Beans for Women for Empowerment' in the Democratic Republic of Congo. It is clear the Liberals prioritize political agendas over the scientists doing real work in the field.

These closures reflect a broader and troubling pattern: Liberals choosing lobbyists over lab coats, consultants over scientists and ideological agendas over the realities of agriculture. This decision directly undermines Canada's food security. Domestic agricultural research is essential to keeping Canadian food affordable and secure, especially in times of global uncertainty.

Just recently, Prime Minister Carney warned that 'a country that cannot feed itself, fuel itself or defend itself has few options.' At the same time, his government is dismantling the foundations of Canada's ability to feed itself - highlighting the disconnect between Liberal rhetoric and reality.

Conservatives know that Canadian farmers, rural communities, and families deserve a government that puts agricultural science and food security ahead of its politics.

Once again, thank you for taking the time to write.

Sincerely,

Correspondence Unit
Office of the Leader of the Official Opposition

Building homes for Alberta seniors

March 12, 2026 [Media inquiries](#)

Alberta’s government is committing more than \$200 million to build and upgrade seniors housing across the province.

As Alberta’s seniors population grows at an unprecedented pace, Alberta’s government is investing record amounts to support seniors and ensure the province’s seniors housing stock grows along with it. Alberta’s government created the Seniors Lodge Modernization Program and is committing hundreds of millions of dollars to build new seniors lodges and upgrade existing ones, ensuring Alberta seniors can age with dignity in the communities they’ve helped build.

“Seniors have made enormous contributions to the communities we live in today, and they deserve housing that reflects that. By investing more than \$200 million to modernize and expand seniors lodges, Alberta’s government is helping ensure seniors can continue living in the communities they helped build, with the comfort, dignity and support they deserve.”

Jason Nixon, Minister of Assisted Living and Social Services

If passed, Budget 2026 would commit \$150 million over the next three years for the Seniors Lodge Modernization Program. This is in addition to the almost \$54 million already allocated to six projects across the province – all of which are in small communities across Alberta. This total more than \$200-million commitment would support more than 1,000 units for seniors across the province.

“ASCHA appreciates the Government of Alberta’s investment in the Seniors Lodge Program. Modernizing lodge infrastructure will help ensure seniors continue to have community environments that improve well-being and support seniors to maintain their independence in a home setting.”

James Nibourg, president, Alberta Seniors & Community Housing Association (ASCHA)

The Seniors Lodge Program is unique to Alberta and is the province's oldest social housing program. There are currently about 11,000 seniors lodge units across the province, which serve as important community hubs – especially in rural communities. The Seniors Lodge Modernization Program brings together partners from public and non-profit organizations to provide comfortable, supportive housing for seniors in the communities where it's most needed.

“Affordable housing for seniors is more important than ever. The Government of Alberta's continued support helps us provide more affordable options for residents and improve the quality of life for seniors. This funding supports the development of a new 102-unit subsidized seniors supportive lodge in Spruce Grove, a first of its kind in the city.”

Lori-Anne St. Arnault, CEO, Meridian Housing Foundation

The next intake for Seniors Lodge Modernization Program applications is expected to open in fall 2026.

Budget 2026 focuses on what matters, makes disciplined choices and takes decisive action.

Quick facts

- Budget 2026, if passed, would allocate \$150 million over three years for the SLMP.
 - This in addition to the almost \$54 million already allocated for six projects across the province, for a total commitment of more than \$200 million over four years.
 - Together, this funding will support more than 1,000 units for seniors.
- Six projects have been allocated funding so far:
 - \$8.8 million for Meridian Housing Foundation's Spruce Grove Lodge Supportive Living project.
 - \$9 million for Taber and District Housing Foundation's Clearview Lodge project.
 - Almost \$16 million for the Municipal District of St. Paul Foundation's St. Paul Lodge project.

- \$5.8 million for Green Acres Foundation’s Piyami Lodge project in Picture Butte.
- \$6 million for The Evergreens Foundation’s Wildwood Lodge project.
- \$8.3 million for Marquis Foundation’s Peter Dawson Lodge project in Vulcan.
- Alberta’s senior population is growing:
 - Currently, there are more than 865,000 seniors in Alberta.
 - By 2035, there will be more than one million seniors in Alberta.
 - In 20 years, one in five Albertans will be a senior.

Related information

- [Seniors Lodge Modernization Program](#)

Related news

- [Speech from the throne: Moving Alberta forward with results](#) (Oct. 23, 2025)
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Amber Edgerton

Press Secretary, Assisted Living and Social Services

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